



BAY COUNTY GRADING PERMIT

CERTIFICATION OF UNDERSTANDING

Provide Application Fee of \$35.00.

GRADING PERMIT shall mean any operation in which material (including, but not limited to, soils, rock, concrete rubble or other mass of material) is added, removed, or relocated on real property. This activity may require a grading plan designed by a licensed Professional Engineer. Major changes in the elevation of the contour maps require a grading permit. This does not include the displacement of material for routine landscaping or yard maintenance activities. No person shall grade material on any land, parcel, or lot without first obtaining a grading permit. Such permit shall be obtained either in conjunction with a development order, or as an independent site improvement activity.

1. A grading permit will not be approved for a site improvement activity without a basic erosion control plan. All disturbed areas shall be stabilized using Best Management Practices. Long term vegetative stabilization must show that plants such as grass are alive and holding soil in place. The property owner is responsible for the maintenance of the erosion control structures and vegetation and shall repair or replace defective components that fail.
2. All reasonable measures must be undertaken to minimize noise, dust, dirt, air contaminants, vibration and other potential nuisances.
3. No grading permit will result in a public hazard or a threat to the public health, safety, and welfare.
4. An approved grading permit does not authorize removal of protected trees with a diameter of 30" or greater.
5. The grading permit must not disrupt, damage, or impact any ditch, swale, culvert, storm-water retention pond, or other drainage/storm-water control structure.
6. The grading permit must not contribute to the pollution of surface waters or groundwater, or otherwise cause degradation of state water quality standards.
7. The grading permit will not have an undue adverse impact upon adjacent properties, the general appearance and character of the general vicinity, parking, utilities or other public facilities.
8. The grading permit must be designed and located so as to minimize physical and visual impact to adjacent properties.

PERMIT NO.: _____

I/We, the undersigned, have read and will comply with these standards.

NAME: _____ E-MAIL: _____

SITE ADDRESS TO BE GRADED: _____

PID #: _____ AREA TO BE GRADED (Acreage): _____

PURPOSE OF GRADING: _____

SIGNATURE: _____ TELEPHONE #: (____) _____

STAFF SIGNATURE: _____ DATE APPROVED: _____

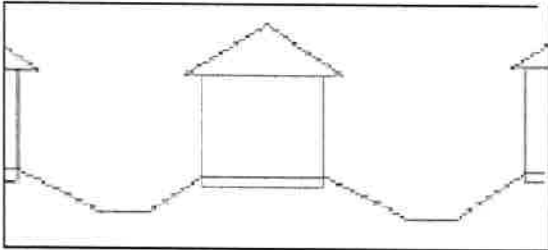
NOTICE: Issuance of a development permit by a county does not in any way create any rights on the part of the applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the county for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state federal law.

There are three types of residential lot grading plans:

Type 1: Drainage on the front half of the lot is directed towards the front of the lot, and drainage on the back half of the lot is directed towards the back of the lot.

Type 2. All the overland drainage on the lot is directed to the street at the front of the lot.

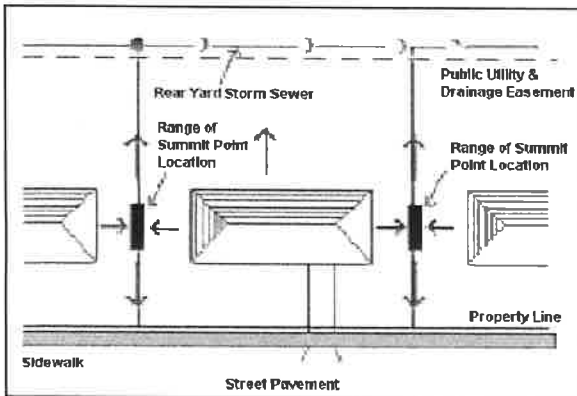
Type 3. All drainage directed to the back of the lot.



The type of drainage for each lot is determined by the grading of the lot before development. Regardless of the type of grading, it is important that every lot be graded in such a way that storm water runoff flows away from the house.

Type 1

The most common type of grading is Type 1.

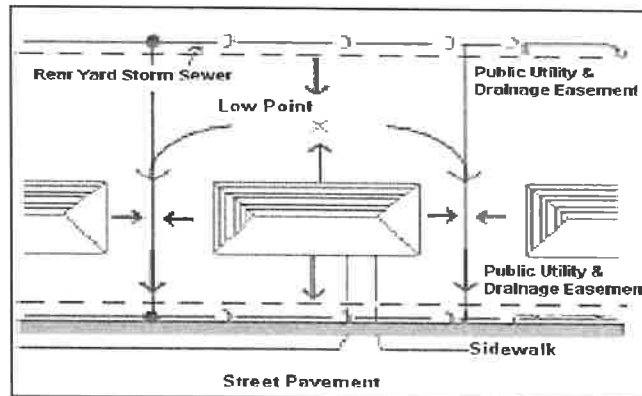


Example of Type 1 Grading

A lot with this type of drainage has summit point (high point) along the side lot line forcing runoff from the front yard towards the street and runoff from the backyard to a ditch or overland flow swale along the rear lot line.

Type 2

The second type of lot grading directs all the overland drainage from the lot to the street at the front lot.

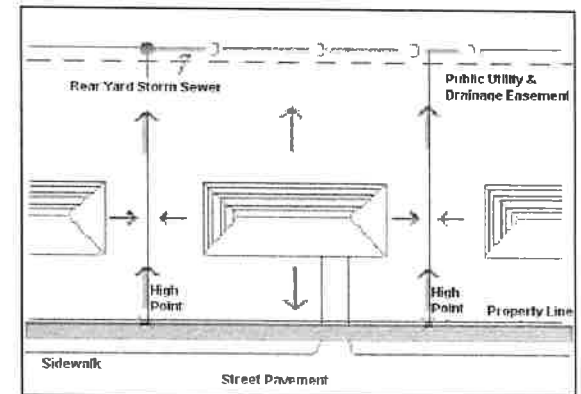


Example of Type 2 Grading (Horseshoe Drainage)

This type of grading is utilized when the elevation of the ground at the rear lot line is significantly higher than the elevation of the street. This type of grading results in a low point at the center of the rear yard to direct runoff away from the house.

Type 3

The third type of lot grading directs all overland drainage from the lot to the back of the lot.



Example of Type 3 Grading

Type 3 drainage is similar to Type 1 drainage, except that the summit point is at the top of the curb rather than midway down the side lot line. This grading is used when the elevation of the ground at the rear lot line is considerably lower than the elevation of the street.